



Planning Committee
Monday, 2nd December, 2024 at 9.30 am
in the Assembly Room, Town Hall, Saturday Market
Place, King's Lynn PE30 5DQ

Reports marked to follow on the Agenda and/or Supplementary Documents

1. **Presentation** (Pages 2 - 124)

Contact

Democratic Services
Borough Council of King's Lynn and West Norfolk
King's Court
Chapel Street
King's Lynn
Norfolk
PE30 1EX
Tel: 01553 616394
Email: democratic.services@west-norfolk.gov.uk

Planning Committee

2 December 2024

Agenda Item 9

2



3

24/01869/F





ACS ARCHITECTURAL

- A. UNIT 3 Poppyfields Retail Park
Poppyfields Drive
Snettisham
PE31 7FR
- T. 01485 532112
- E. info@acs-architectural.co.uk

Address

6 New Road
Crimplesham
Norfolk
PE33 9AS

what3words
flown.prosper.finalsts

Title

Location Plan

Date

(First Issued) (Last Revision)
12.03.24 00.00.00

Paper

A4

Drawing No.

786/23/00

Rev.

0

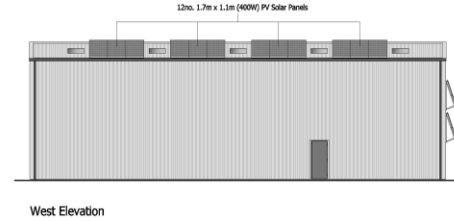
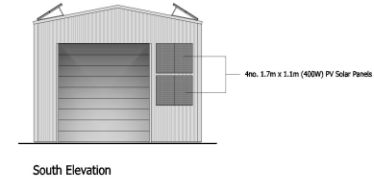
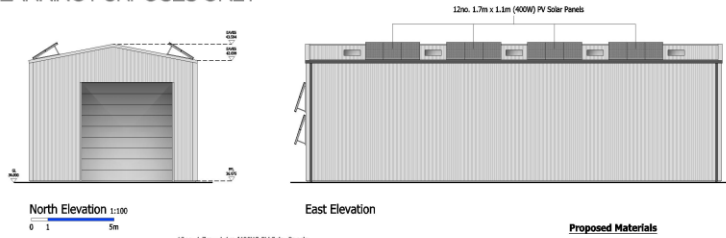


4

Location Plan 1:1250



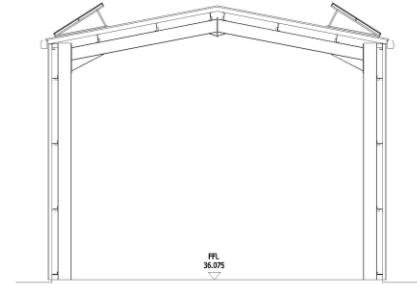
© Crown copyright and database rights 2022 OS 100035409
Please note this drawing was produced in colour.



Proposed Materials

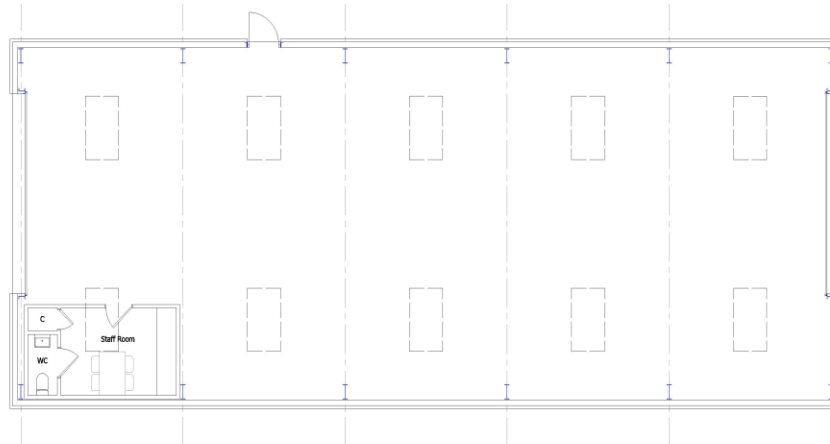
- Kingspan KS1000 RW Quadcore cladding
- Kingspan KS1000 RW Quadcore roof cladding
- Steel sectional overhead doors
- Anthracite steel personnel door
- Black UPVC gutters and downpipes
- 10no. GRP rooflights
- 30no. 1.7m x 1.1m (400W) PV Solar Panels

NOTE - All colours TBC



Typical Section 1:50
0 1 2.5m

Note
Site levels to remain
as existing.



Ground Floor Plan 1:50
0 1 2.5m



ACS ARCHITECTURAL

A. UNIT 3 Poppyfields Retail Park
Poppyfields Drive
Snettisham
PE31 7PL

T. 01465 532112
E. info@acs-architectural.co.uk

Project
Proposed Industrial Unit
SXC Trailers Ltd. 6 New Road
Compleham
Downham Market
PE33 9AS

info@acs-architectural.co.uk

Title
Proposed Floorplans, Elevations
and Section

Date Paper
23.02.24 A1
23.02.24 07.03.24

Drawing No. Rev.
786/23/01 A



7



Site entrance, looking south into site



8



Site entrance, looking southeast into site

6



Junction with A1122 looking east





Kathy Collins- Speaker



13



Entrance / exit onto main A1122 road eastbound from
New Road junction

New Road Picture 1



14



Entrance / exit from New Rd junction onto Main A1122, westbound

New Road Picture 2

NEW ROAD



New Road junction with main A1122 east and westbound entrance / exit.

New Road Picture 3



16



Entrance/exit from main A1122 into New Road, which is an adopted double width road.

New Road Picture 4



Norfolk County Council

Community and Environmental
Services
County Hall
Martineau Lane
Norwich
NR1 2SGFao. Claire Dorgan
Borough Council of King's Lynn & West Norfolk
Kings Court
Chapel Street
King's Lynn
Norfolk
PE30 1EXNCC contact number: 0344 800 8020
Text Relay - 18001 0344 800 8020Your Ref: 20/01984/F
Date: 23 December 2020My Ref: HDD.9/2/20/1984/RS
Tel No.: 01603 638010
Email: richard.smith@norfolk.gov.uk

Dear Mrs Dorgan

**Proposed new light industrial storage units
B & P Business Park Bexwell Road Bexwell DOWNHAM MARKET Norfolk PE38 9LT****In relation to highways issues only, notice is hereby given that Norfolk County
Council does not wish to restrict the grant of permission:**

Having examined the information submitted, it is evident that the site currently supports existing commercial uses and traffic levels **are therefore unlikely to increase significantly**. As a result in terms of highway considerations for the adopted road network, I have no objection to the principle of the application.

Picture 5

Yours sincerely

*Richard Smith*Highways Development Management Officer
for Executive Director for Community and Environmental Services

Please be aware it is the applicants responsibility to clarify the boundary with the public highway. Private structures such as fences or walls will not be permitted on highway land. The highway boundary may not match the applicants title plan. Please contact the highway research team at highway_boundaries@norfolk.gov.uk for further details.





Arrow shows entrance and exit onto Bexwell Airfield Ind Estate, this being 300 metres from B&P Business Park. Planning application ref: 20/01984

Entrance Exit to B&P Business Park from main A1122

Picture 6





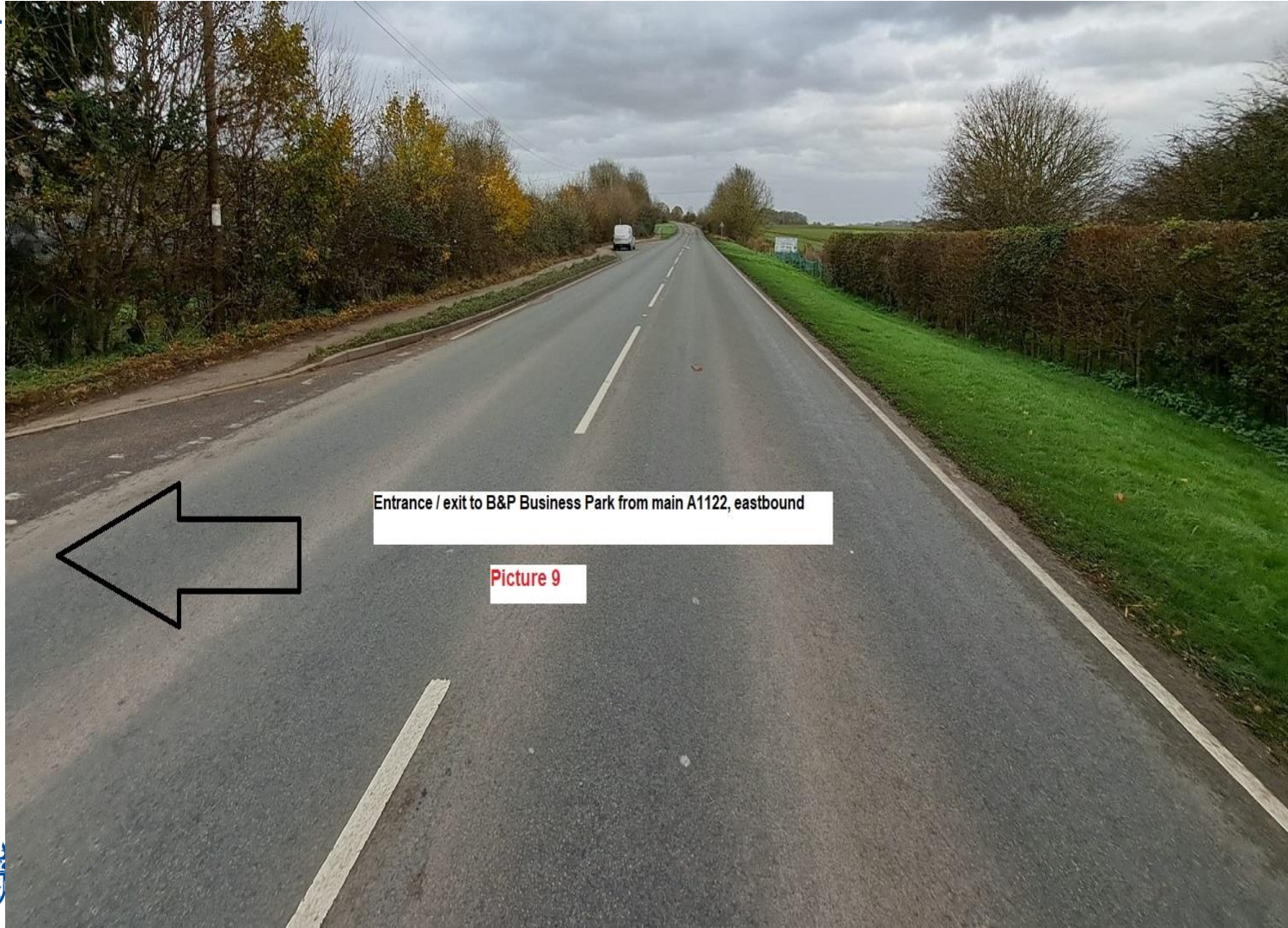
Single lane unadopted entrance to B&P Business Park to include residential houses off A1122

Picture 7





21



22



Entrance exit to B&P Business Park from A1122 westbound

Picture
10





Entrance and exit from Bexwell Airfield industrial site along unadopted road onto main A1122.

Picture 11

24



Entrance and exit onto Bexwell Airfield Ind Estate. Unadopted road from main A1122

Picture 12

25

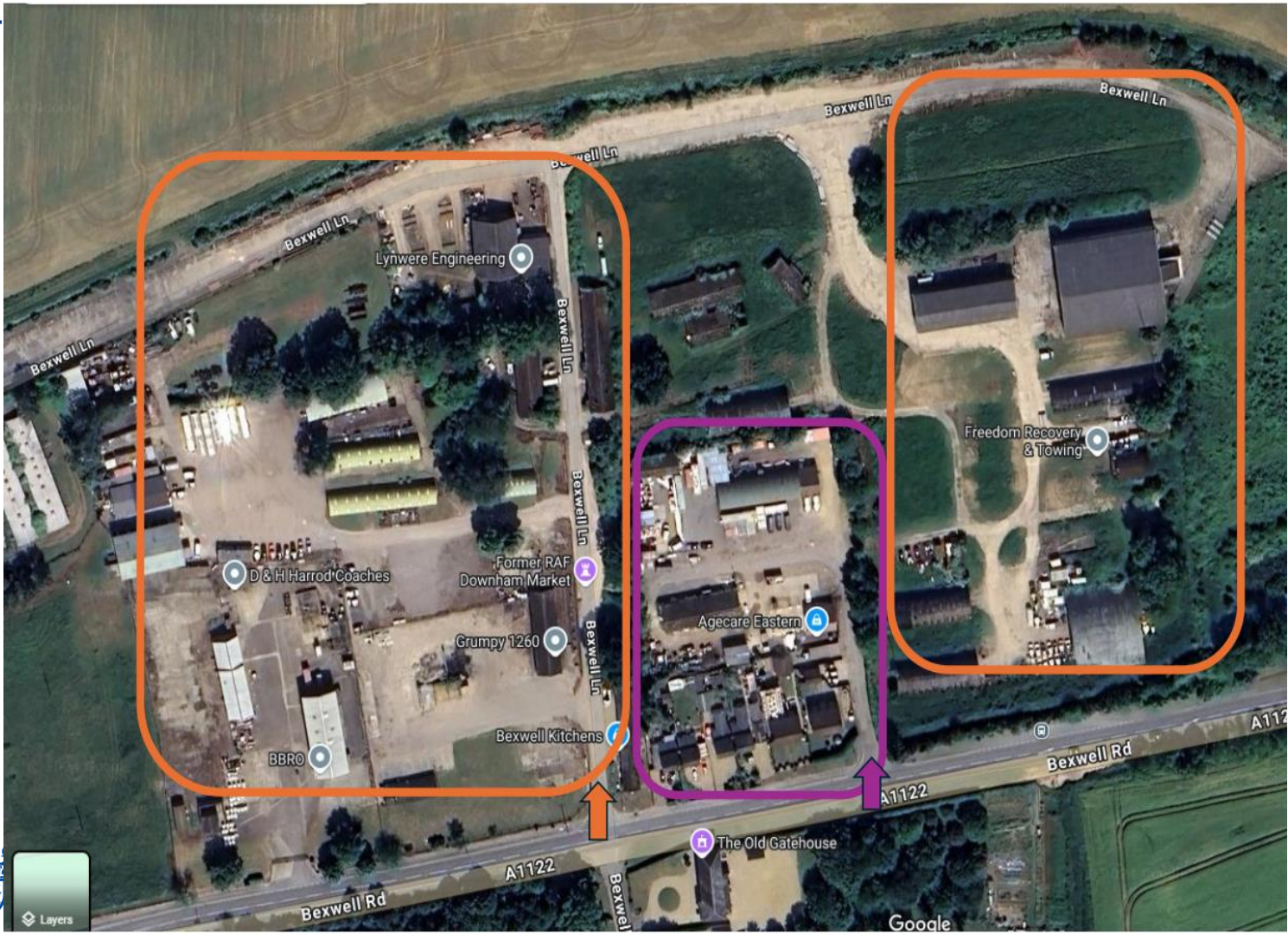


Site used by HGV's entering and exiting within 100 metres of main A1122. Another 100 metres down this service road by Bexwell Kitchens is used by coach company constantly in and out all day 7 days a week. Beyond the gated road in the background there is the daily traffic entering and exiting from the two areas ringed in Orange on aerial plan.

Picture 13



26





Bexwell Airfield site and Bexwell village/church crossroads off main A1122

Picture 15

28



Denotes off road parking for venue hire - no junction onto main A1122

Bexwell crossroads opposite Old Gatehouse venue alongside main A1122

Picture 16



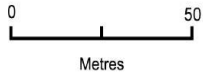
24/01692/F

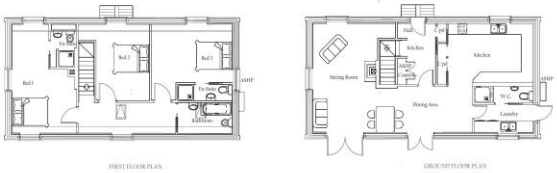
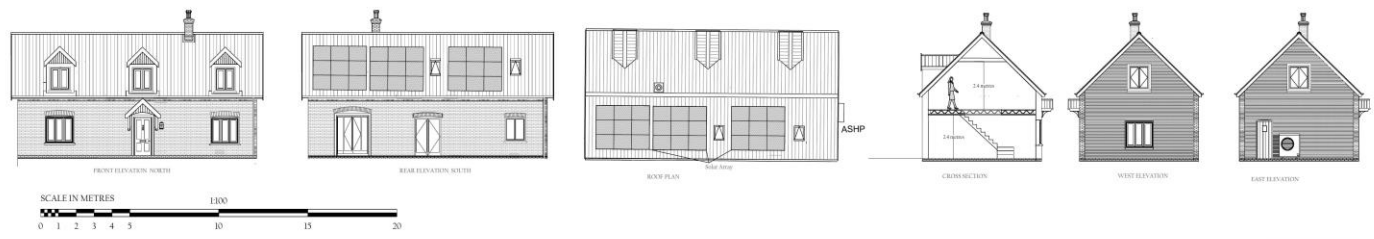


Date Produced: 18-Sep-2024

Scale: 1:1250 @A4

30



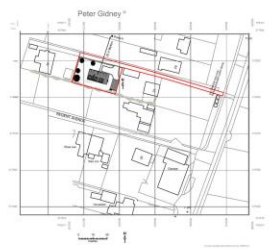
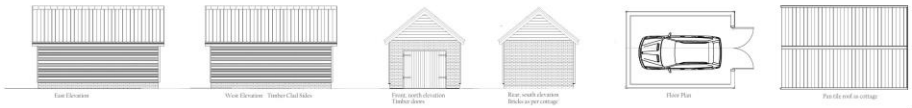


Additional Information Point A
20/06/2024

Roof: Clay Pine Tiles
 porridge / grey ridge cap.
 Ventilation: Gable End - Aluminium
 Gutters: Copper and half round all round
 Timber: tongue and groove
 Down and other items timber approved colour
 Code: 4 - Small Building - others
 Material: Timber - Panel 2 - www.timbernet
 04/04/2024
 Address: 5th Level

--- SITE BOUNDARY
--- SEWER WATER
--- STORM WATER
 These are Not Construction Drawings

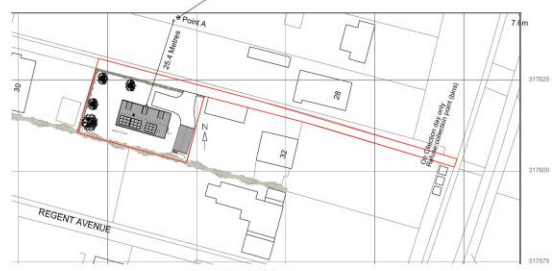
The drawings shown are subject to the provisions and conditions of the planning application and are not to be used for any other purpose without the written consent of the planning authority. The drawings are not to be used for any other purpose without the written consent of the planning authority. The drawings are not to be used for any other purpose without the written consent of the planning authority. The drawings are not to be used for any other purpose without the written consent of the planning authority.



Location Plan 1:1250



Site levels in metres Scale 1:250



Block Plan 1:500
See distance from person claiming overlooking 25.4 metres
Point A picture taken on the 11th June 2024

Peter Gidney

West Hill Cottage, Upper Wymondley, PE33 8PB
 Telephone: 01753 870000

New Cottage and Garage
 Land behind 11, West Wymondley Road
 Wymondley, KING'S LYNN
 Norfolk
 PE33 4SD

Applicant: John Wood
 60 Park Lane
 Northampton
 NN4 7EP
 Norfolk
 PE5 7NA

Read with the Design and Access Statement
 Particulars of the application: 20/01692/F

Proposed Elevations

Scale: 1:500 1:1000 Drawn By: PG
 Date: 1/2/24

Date: 20/06/2024 Issued For:

Dwg No.: 0002DW/20/01692/F A1

→ Two

31

32



Views of the application site

33



Views looking east towards the shared boundary with No 32



Views looking east towards No 30 and shared access



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Shared access



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Looking at the access to/from A10

Peter Gidney -Speaker

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The lane width at the top is 7 metres reducing 6.3 metres in a depth of 5 metres.

For the next 54 metres up to 4 metres wide, 3.6 max up to 71 metres entry to the proposed site, then 107 metres 3.2 metres wide at the gateway of number 30.

For a single lane in the UK Design Standards this is not considered to be narrow. There are two passing widths And wide space on the junction of the A10. The best entry on this part of the A10.

41



42

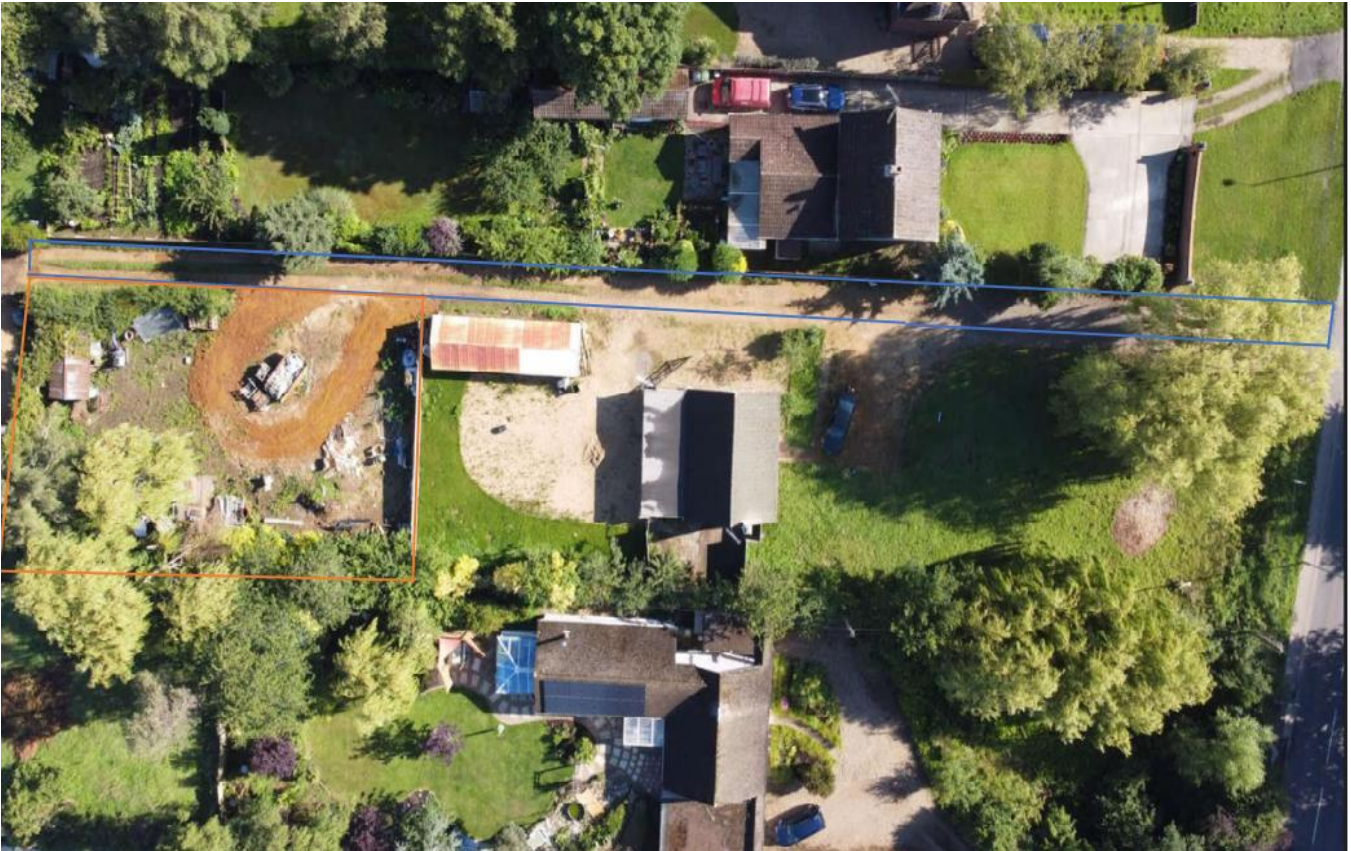


3) Yard



43

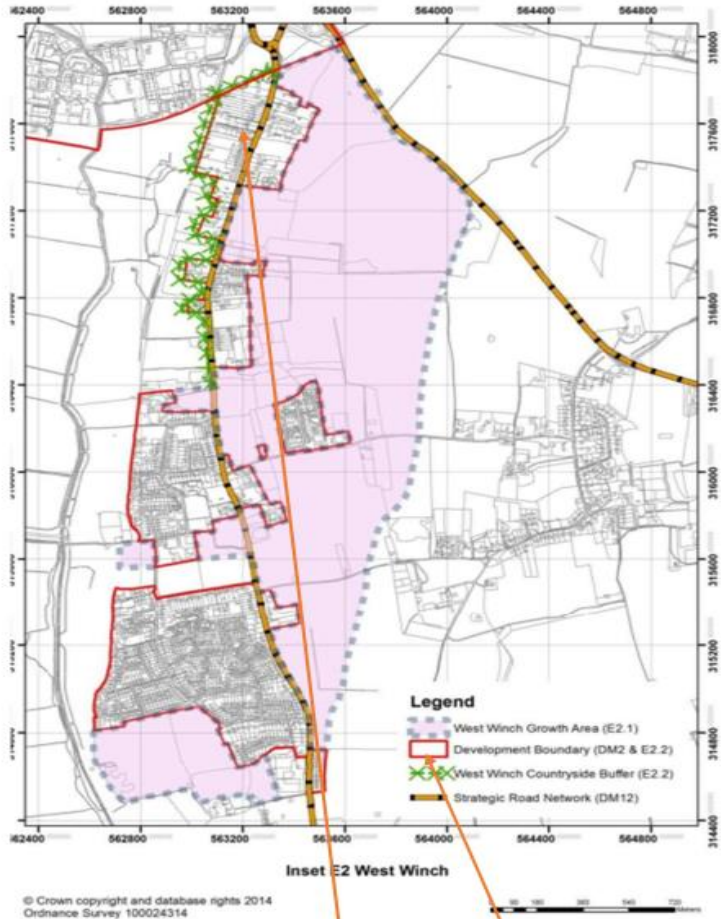




44

5) Yard Aerial view 2019





Inset E2 West Winch

Site land behind 32 within the West Winch Development Boundary

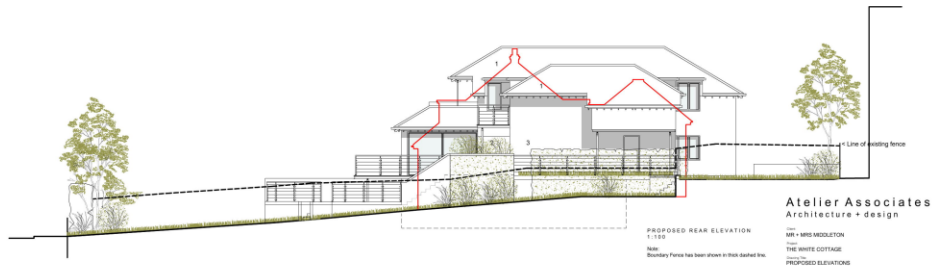
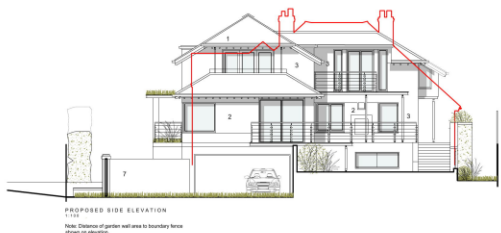
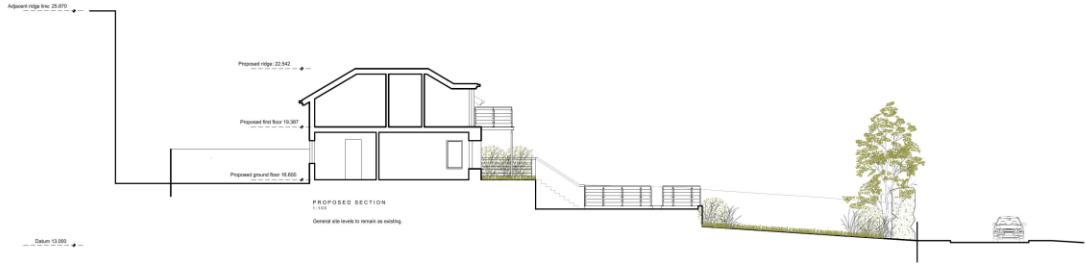


24/00143/F

46



48



DISCLAIMER
These drawings are prepared on information believed to be correct and are not intended to constitute a contract. The drawings are the property of the Architect and shall remain his property. No part of these drawings shall be used for any other purpose without the written consent of the Architect. The Architect shall not be responsible for any errors or omissions in these drawings or for any consequences arising therefrom. The Architect shall not be responsible for any delays or interruptions in the progress of these drawings or for any consequences arising therefrom.

CONTRACT
The contract between the Architect and the Client is contained in the Architect's Contract Documents. The Client shall be deemed to have accepted the Architect's Contract Documents by the Client's signature on the Architect's Contract Documents. The Architect shall not be responsible for any delays or interruptions in the progress of these drawings or for any consequences arising therefrom.

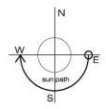
DATE
The Architect's design is based on the information provided to the Architect by the Client. The Architect shall not be responsible for any errors or omissions in the information provided to the Architect by the Client.

DESIGN PURPOSES
These drawings are prepared for the purpose of illustrating the proposed design to the Client and for the purpose of obtaining planning permission. The drawings are not intended to be used for any other purpose without the written consent of the Architect.

PLANNING
The drawings are prepared in accordance with the requirements of the Town and Country Planning Act 1990 and the Town and Country Planning Regulations 2004. The drawings are not intended to be used for any other purpose without the written consent of the Architect.

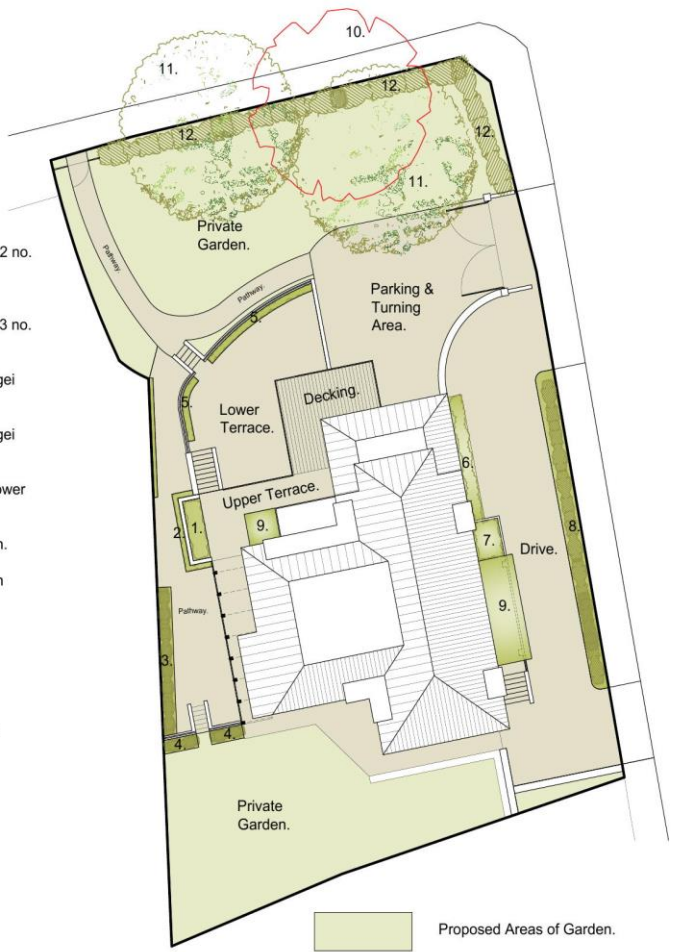
NOTES
1. The drawings are prepared in accordance with the requirements of the Town and Country Planning Act 1990 and the Town and Country Planning Regulations 2004. The drawings are not intended to be used for any other purpose without the written consent of the Architect.

KEY TO MATERIALS
1: Slate or plain tile
2: Flint
3: Brick
4: Cladding
5: Provision for solar PV
6: Gable Walls
7: Flint and Brick Wall



KEY TO PLAN:

- 1: Proposed planting within existing screen wall. 4 no. Trachelospermum jasminoides 5L pot size and 2 no. Solanum laxum 'Album' 5L pot size.
- 2: Proposed planting around base of screen wall. 2 no. Trachelospermum jasminoides 5L pot size and 3 no. Hebe 'Emerald Green Globe'.
- 3: Proposed 2.5m high hedge planting. Eleagnus ebbingei hedge plants 5L pot size planted at 50cm intervals.
- 4: Proposed 1.6m high hedge planting. Eleagnus ebbingei hedge plants 5L pot size planted at 50cm intervals.
- 5: Proposed decorative planting along the edge of the lower patio area.
- 6: Proposed decorative planting along the east elevation.
- 7: Proposed decorative planting along the east elevation raised porch.
- 8: Previously approved hedge planting fronting the highway. Eleagnus ebbingei hedge.
- 9: Previously Approved green roof areas.
- 10: Previously Approved Eucalyptus tree to be removed.
- 11: Existing trees to be retained.
- 12: Existing hedge to be retained.



- Proposed Areas of Garden.
- Proposed Driveway and Path Areas.

DISCLAIMER:
Please report any discrepancies or omissions between the 'Designer' and any consultants drawings to the designer immediately. For all other purposes other than Planning applications submitted to Kings Lynn Borough Council, do not scale from Drawings. All dimensions to be checked by contractor on site prior to commencing any work. IF IN DOUBT ASK. Levels and dimensions of existing structures may be from various sources and may be inaccurate. Unless stated otherwise this drawing is for design intent purposes only and should not be used for any other purpose. The drawing is indicative of designers visual requirements.

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CDM:
This drawing represents design intent only and should not be used for construction purposes without written notification from Atelier Associates or the Principal Designer. It is understood the client's intention is to appoint a Principal Contractor in order to discharge their obligations under CDM.

DRAWING PURPOSES:

CONSTRUCTION: All existing site and building dimensions to be confirmed by contractor prior to ordering of materials or commencement of work. Any variation or discrepancy to be brought to the designers attention immediately and formal instruction must be obtained prior to works commencing / continuing. This drawing must be read in conjunction with all Atelier Associates and other consultant drawings and documents - refer to drawing register for full details and revisions.
Due to the nature and location of projects, construction materials are subject to approval from a number of parties. Materials may be subject to amendment.

PLANNING: This drawing should be used for planning purposes only and should not be used for any other purpose.

DISCUSSION: The content of this drawing is for discussion purposes only between agreed third parties and the information should not be relied upon for any other purpose.

LOCATION PLANS:
These are downloaded from a third party source and do not represent a legal boundary for ownership or any other legal encumbrances. Location plans are to be used for identification purposes only for the sole purpose of obtaining planning permission.

REVISIONS:
Recycle all previous versions of this drawing and check with designer that you have the latest revision.

Atelier Associates
Architecture + design

Client:
MR + MRS MIDDLETON

Project:
THE WHITE COTTAGE

Drawing Title:
PROPOSED LANDSCAPE PLAN

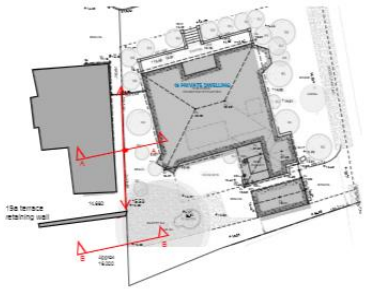
Date:	Designer:	Checked:	Approved:	Scale:
20/09/2024	SS	-	PLANNING	1:200

Drawing number:
MID02.01.25

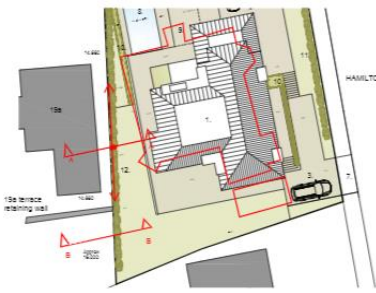
Barn B Home Farm Common Road Snettisham Norfolk PE317PD
T: 01485 542 729 E: hello@atelierassociates.uk



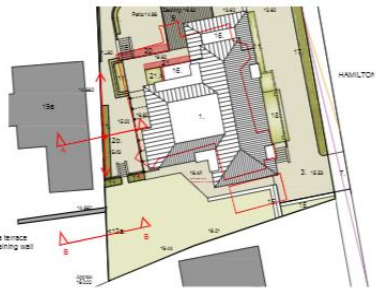
19 Wodehouse Road, The White Cottage, Old Hunstanton, King's Lynn PE36 6JW
Drawing 100 - Boundary 19A / The White Cottage 2024_09_20 1:50 (A3) 2763_P100_D



Original House

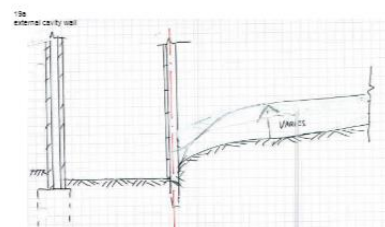


Consented Planning Scheme

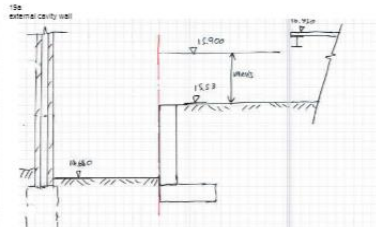


Revised Planning Scheme

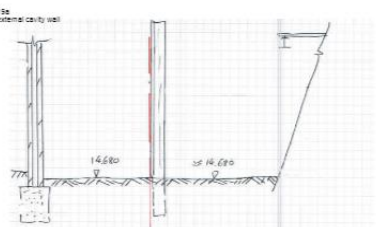
50



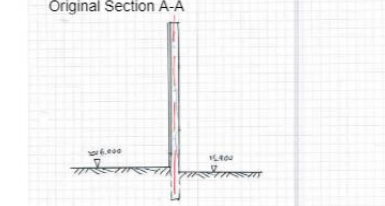
Original Section A-A



Consented Planning Scheme Section A-A



Revised Planning Scheme Section A-A



Original Section B-B



Consented Planning Scheme Section B-B



Revised Planning Scheme Section B-B



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View of looking south-west to application site and 19a
Wodehouse Road (2024)





65



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View from 19a Wodehouse Road at west
elevation

67





69



70



Rear garden of 19a Wodehouse Road

71



North elevation of the dwelling , looking south-west

72



North elevation of the dwelling, looking south-east

73



View of application site west boundary with 19a Wodehouse Road looking south



74



View of application property and 19a Wodehouse Road -
boundary looking to front elevation of 19a



75



View of application property and 19a Wodehouse Road –
boundary looking to front elevation of 19a

76



View of application property and 19a Wodehouse Road –
boundary looking North



77



View of application property and 19a Wodehouse Road –
upper terrace area



78



View of application property and west boundary adjacent to No
19a





Fence arrangements



80



View of application property and 19a Wodehouse Road - on the upper terrace

81



View of west boundary adjacent to 19a Wodehouse Road.

82





View of application property and 19a Wodehouse Road - west boundary



Rear garden area and south elevation of the dwelling

85



85





AGENT IMAGE - showing raised garden of neighbouring property.





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06



91



92



92



94



96



Site Photos prior to demolition of application dwelling View to 19a



96



← 15 Hamilton Rd
Hunstanton, England

Google Street View

Jun 2009 See latest date

97



Street scene of application site (Google Maps) 2009





96

Street scene of application site (Google Maps) 2009





Search Google Maps

← 19 Wodehouse Rd
Hunstanton, England
Google Street View
Sept 2018 See latest date

X



X

Street scene of application site and 19A Wodehouse Road (Google Maps) 2018.



Patricia Eckersall- Speaker

100



Approved 31 May 2023

Refusal recommended 07 Jun 2024

101



- The western elevation and raised terrace are closer to the boundary than approved.
- The increased area is not acceptable as it comes closer to the boundary.
- The repositioning of the stair from the terraces to the side of the dwelling closer to the boundary is unacceptable.

MID02.01.04 C

MID02.01.04 I

Sent: Friday, June 7, 2024 1:12 PM
 To: Steve Sharp [REDACTED]
 Subject: RE: 24/00143/F 19 Wodehouse Road,

As outlined, we will be recommending refusal for this application

Weds 26 June 2024

Sent: Wednesday, June 26, 2024 11:13 AM
To: Kai Underwood <[REDACTED]>
Cc: Polly Harris Gorf <[REDACTED]>
Subject: RE: 24/00143/F 19 Wodehouse Road, Old Hunstanton

11:13 am

Having now discussed with my manger, as you wish to appeal the scheme as currently submitted this should be the application to be determined on this basis and refused. Can you please confirm which exact plans you would like considered for refusal and then appeal?

Sent: Wednesday, June 26, 2024 1:37 PM
To: Kai Underwood <[REDACTED]>; Connor Smalls <[REDACTED]>
Cc: Steve Sharp <[REDACTED]>; Sarah Willis <[REDACTED]>
Subject: RE: 24/00143/F 19 Wodehouse Road, Old Hunstanton
Importance: High

1:37 pm

As you now want us to consider the revision sent, Connor can put this in place, however there would not be time to do this and take a considered report containing responses to the planning committee meeting at the end of July.

We would therefore be looking at the planning committee meeting on 2 September, so please can you agree by return an Extension of Time until 6 Sept 2024, which would take in to account a site visit on the Thursday 5th if the planning committee concluded a site visit is necessary.

The alternative, as Connor has set out, it to have a refusal on the current scheme, and submit a subsequent application.

102



Refusal recommended 07 Jun 2024

Proposed 25 Sep 2024

103



MID02.01.04 I

MID02.01.04 L

As outlined, we will be recommending refusal for this application

- The western elevation and raised terrace are closer to the boundary than approved.
- The increased area is not acceptable as it comes closer to the boundary.
- The repositioning of the stair from the terraces to the side of the dwelling closer to the boundary is unacceptable.

The application seeks full planning permission for a replacement **two-storey dwelling** following the demolition of the existing building.

Officer report 31 May 2023

The application seeks to vary approved plans for the development approved under: 22/01744/F for a replacement **two-storey dwelling** following the demolition of the existing building. This development has already commenced.

104

Today's reports pack

Contrary to the objections raised, the original approved application 22/01744/F was always a **three-storey building**: lower ground level (partially submerged), ground floor and first floor.



Officer report 10 Feb 2023

The application seeks full planning permission for a replacement two-storey dwelling following the demolition of the existing building.

Officer report 31 May 2023

The application seeks to vary approved plans for the development approved under: 22/01744/F for a replacement two-storey dwelling following the demolition of the existing building. This development has already commenced.

Officer report Nov 2024

Contrary to the objections raised, the original approved application 22/01744/F was always a three-storey building: lower ground level (partially submerged), ground floor and first floor.



Sent: 08 November 2022 17:07
To: Steve Sharp <steve@atelierassociates.uk>
Subject: 22/01744/F The White Cottage 19 Wodehouse Road Old Hunstanton

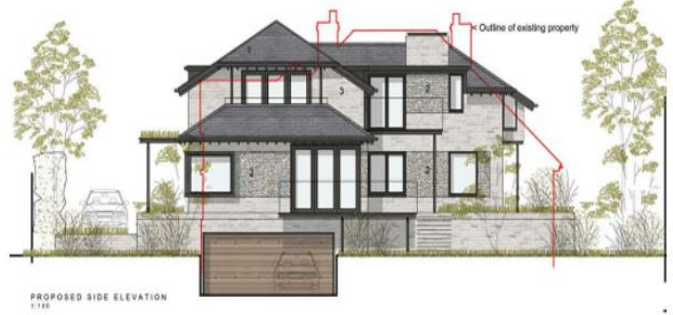
Good Afternoon,

Having reviewed this application with my Line manager we have several concerns, I will currently be recommending the application for refusal.

Firstly, we have concerns over whether the design is acceptable given the established form and character of the area, whilst not poor design in isolation it does not appear in keeping with the local area. Secondly the size, form and scale is considered to be excessive given the plot, existing dwelling and local context. Third, we have concerns regarding neighbour impact to western neighbouring involving overshadowing and overbearing, to the south it appears that there would be overlooking to southern neighbour.

22/01744/F
Approved 10 Feb 2023

Project: THE WHITE COTTAGE
Drawing No: PROPOSED ELEVATIONS
Date: 20/07/2022
Author: SS
Checked: PLANNING
Scale: 1:150
Drawing: 1/10
Drawing Title: MID02.01.04 B
Barn 5 Home Farm Common Road Southam Norfolk PE317PD
T: 01485 540 729 E: hello@atelierassociates.uk



106

107



Sent: Wednesday, February 21, 2024 1:27 PM

It sounds as if the dignity and authority of WNBC Planning Department is being treated with reckless abandonment and no respect..

Please call in both applications as follows:

26/01/2024 reference 24/00143/F- VARIATION OF CONDITIONS 1 AND 4 OF PLANNING PERMISSION 23/00598/F: Demolition of existing dwelling and construction of replacement dwelling.





TUESDAY NOVEMBER 26, 2024

EASTERN DAILY PRESS

NEWS



The new home in Wodehouse Road, Old Hunstanton, which sparked fury in the village
Image: CHRIS BISHOP

Future of new home at centre of furious row to be decided

Henry Middleton – Speaker

109



Previous dwelling

- Shows proximity of prior dwelling to neighbouring property
- Shows neighbour's rear garden retaining wall – in line with Applicant's proposed drainage solution

111



Levels post demolition

Slide
No. 111

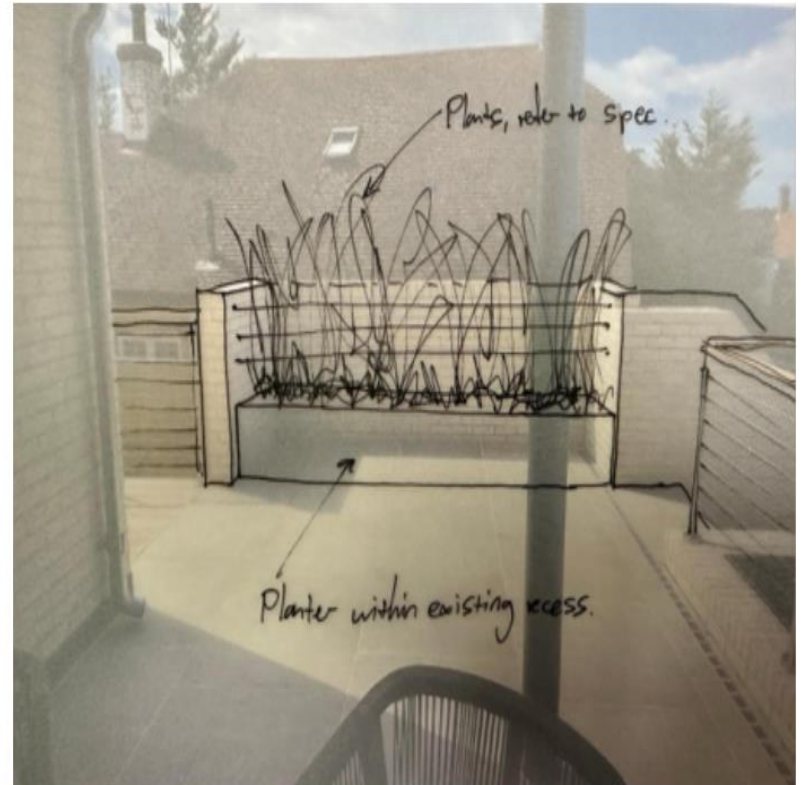
24/00143/F

112



Proposed planting to soften and provide privacy

113



24/01121/F

114



117



Site frontage, rear of West End Cottages



118



119



120



Site frontage, view east along High Street

121



Satellite view showing grain of development in Thornham



122



123



End of Presentation

124

